



FRONT ELEVATION

SALES OFFICE

Item	Ontario Building Code Matrix	OBC Reference																														
1	Project Description <input type="checkbox"/> Change of Use <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 <input type="checkbox"/> Part 11																														
2	Major Occupancy GROUP D – BUSINESS & PERSONAL SERVICE	9.10.2.1																														
3	Building Area(m2) Existing_0___ New_161.97 Total_161.97																															
4	Gross Area(m2) Existing_0___ New_161.97 Total_161.97																															
5	No. of Storeys Above Grade_1___ Below Grade_0___																															
6	Height of Building (m) 6.99m																															
7	No. of Streets/Access Routes TWO																															
8	Building Classification GROUP D – BUSINESS & PERSONAL SERVICE	9.10.2.1																														
9	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required																															
10	Standpipe required <input type="checkbox"/> yes <input checked="" type="checkbox"/> no																															
11	Fire Alarm required <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	9.10.17.2																														
12	Water Service/Supply is Adequate <input checked="" type="checkbox"/> yes <input type="checkbox"/> no	PRIVATE																														
13	High Building <input type="checkbox"/> yes <input checked="" type="checkbox"/> no																															
14	Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible or <input checked="" type="checkbox"/> Both	9.10.6.1																														
15	Mezzanine(s) Area m2																															
16	Total Occupancy Load _10___ persons per bldg. Based on <input type="checkbox"/> m2/person <input checked="" type="checkbox"/> design of building	3.1.17.1.(c)(i) 9.9.1.3(b)																														
17	Washroom Fixtures 2 FIXTURE UNISEX/BARRIER FREE	3.7.4.7																														
18	Barrier-Free Design <input checked="" type="checkbox"/> yes <input type="checkbox"/> no	9.5.2.1(1)																														
19	Hazardous Substances <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	A3.3.1.2(1)																														
20	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SB-3) Roof_0___ Hours Wood Joists on Con. Sono Tube Mezzanine_N/A_ Hours FRR of Supporting Members Listed Design No. Or Description (SB-3) Floors_N/A_ Hours Roof_0___ Hours Mezzanine_N/A_ Hours Suites_N/A_ Hours Corridors_N/A_ Hours Service Rm_0___ Hours	9.10.8.1 9.10.8.1 9.10.9.1.3 9.10.10.3																														
21	Spatial Separation-Construction of Exterior Walls: Group D (BUSINESS & PERSONAL SERVICE)	9.10.14.																														
	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m2)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max % of Openings</th> <th>Proposed % of Openings</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>43.20</td> <td>95.31</td> <td>N/A</td> <td>100%</td> <td>0.00% (0.00m2)</td> </tr> <tr> <td>South</td> <td>31.46</td> <td>49.92</td> <td>N/A</td> <td>100%</td> <td>0.00% (0.00m2)</td> </tr> <tr> <td>East</td> <td>60.19</td> <td>126.06</td> <td>N/A</td> <td>100%</td> <td>3.90% (2.35m2)</td> </tr> <tr> <td>West</td> <td>74.64</td> <td>9.66</td> <td>N/A</td> <td>84.84%</td> <td>50.36% (37.59m2)</td> </tr> </tbody> </table>	Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max % of Openings	Proposed % of Openings	North	43.20	95.31	N/A	100%	0.00% (0.00m2)	South	31.46	49.92	N/A	100%	0.00% (0.00m2)	East	60.19	126.06	N/A	100%	3.90% (2.35m2)	West	74.64	9.66	N/A	84.84%	50.36% (37.59m2)	
Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max % of Openings	Proposed % of Openings																											
North	43.20	95.31	N/A	100%	0.00% (0.00m2)																											
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East	60.19	126.06	N/A	100%	3.90% (2.35m2)																											
West	74.64	9.66	N/A	84.84%	50.36% (37.59m2)																											

SB-10 ENERGY EFFICIENCY TABLE DIVISION 5 - TABLE 1.1.1.2.

LOCATION		ZONE: 1	
COURTICE, ON.			
BUILDING COMPONENT	REQUIRED	PROPOSED	
ROOFS			
INSULATION ENTIRELY ABOVE DECK	U-0.029 (R35.0 c.i.)	N/A	
ATTIC AND OTHER	U-0.019 (R60.0)	U-0.019 (R60.0)	
WALLS, ABOVE GRADE			
ABOVE GRADE WALLS	U-0.044 (R13.0 + R15.0 c.i.)	U-0.055 (R13.0 + R15.0 c.i.)	
WALLS, BELOW GRADE			
BELOW GRADE WALL	C-0.050 (R20.0 c.i.)	C-0.050 (R20.0 c.i.)	
FLOORS **			
LIGHTWEIGHT FRAMING	U-0.029 (R38.0 + R4.0 c.i.)	R30 (see footnote 3)	
MASS	U-0.046 (R18.7 c.i.)	N/A	
SLAB-ON-GRADE FLOORS			
UNHEATED	R15.0 for 48in.	R15.0 for 48in.	
HEATED	R10.0 FULL SLAB	N/A	
FENESTRATION			
ASSEMBLY MAX. U-VALUE (ASSEMBLY MAX. SHGC)			
VERTICAL FENESTRATION, 0% - 40.0% OF WALL			
WINDOWS	U-0.38 (0.40)	U-0.38 (0.40)	
VERTICAL FENESTRATION, 0% - 40.0% OF WALL			
ENTRANCE DOORS	U-0.69 (0.40)	U-0.69 (0.40)	
SKYLIGHT, PERCENTAGE (% OF ROOF)			
0% - 3.0%	U-0.45 (0.40)	U-0.45 (0.40)	

- 1 - TITLE PAGE
- 2 - FOUNDATION PLAN
- 3 - GROUND FLOOR PLAN
- 4 - FRONT ELEVATION
- 5 - LEFT SIDE ELEVATION
- 6 - RIGHT SIDE ELEVATION
- 7 - REAR ELEVATION
- 8 - CONSTRUCTION NOTES

** - PER TABLE 1.1.1.2, NOTE (3) WHERE FLOOR FRAMING DEPTH IS 10 INCHES (254mm) OR LESS, INSULATION BETWEEN FRAMING MEMBERS IS PERMITTED TO MEET A MINIMUM R-VALUE OF R-30 / RSI-VALUE OF 5.28

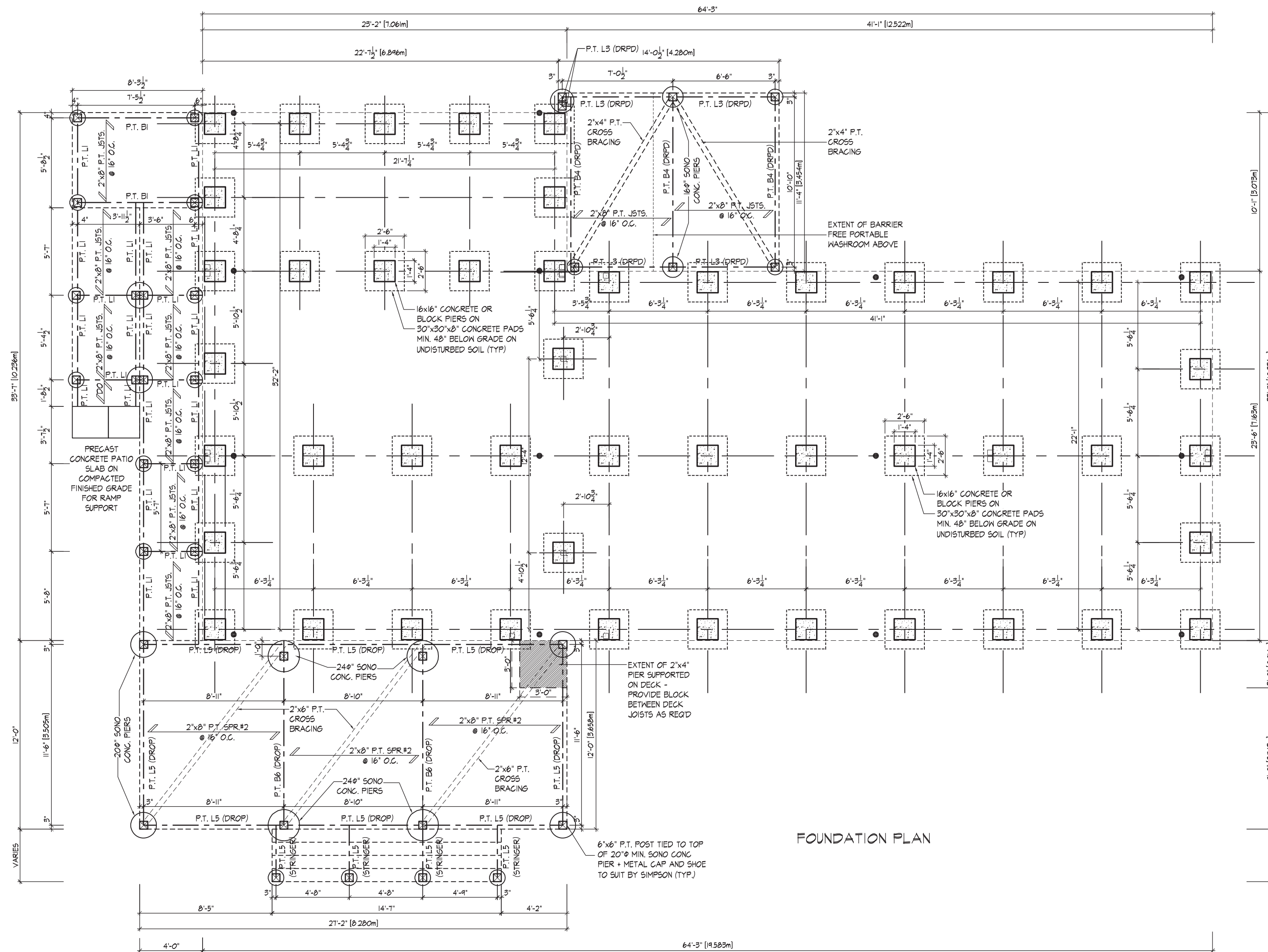
AREA CALCULATIONS	EL. 'A'
GROUND FLOOR AREA	1743 sq. ft.
SECOND FLOOR AREA	0 sq. ft.
SUBTOTAL	1743 sq. ft.
DEDUCT ALL OPEN AREAS	0 sq. ft.
TOTAL NET AREA	1743 sq. ft.
FINISHED BASEMENT AREA	0 sq. ft.
COVERAGE W/OUT PORCH	1743 sq. ft.
COVERAGE W/ PORCH	2357 sq. ft.
WINDOW / WALL AREA CALCULATIONS	EL. 'A'
GROSS WALL AREA	1973 sq. ft.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	233 sq. ft.
TOTAL WINDOW %	11.81 %



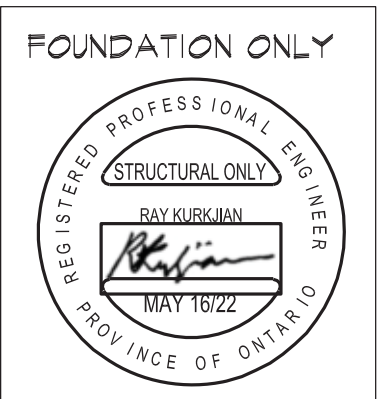
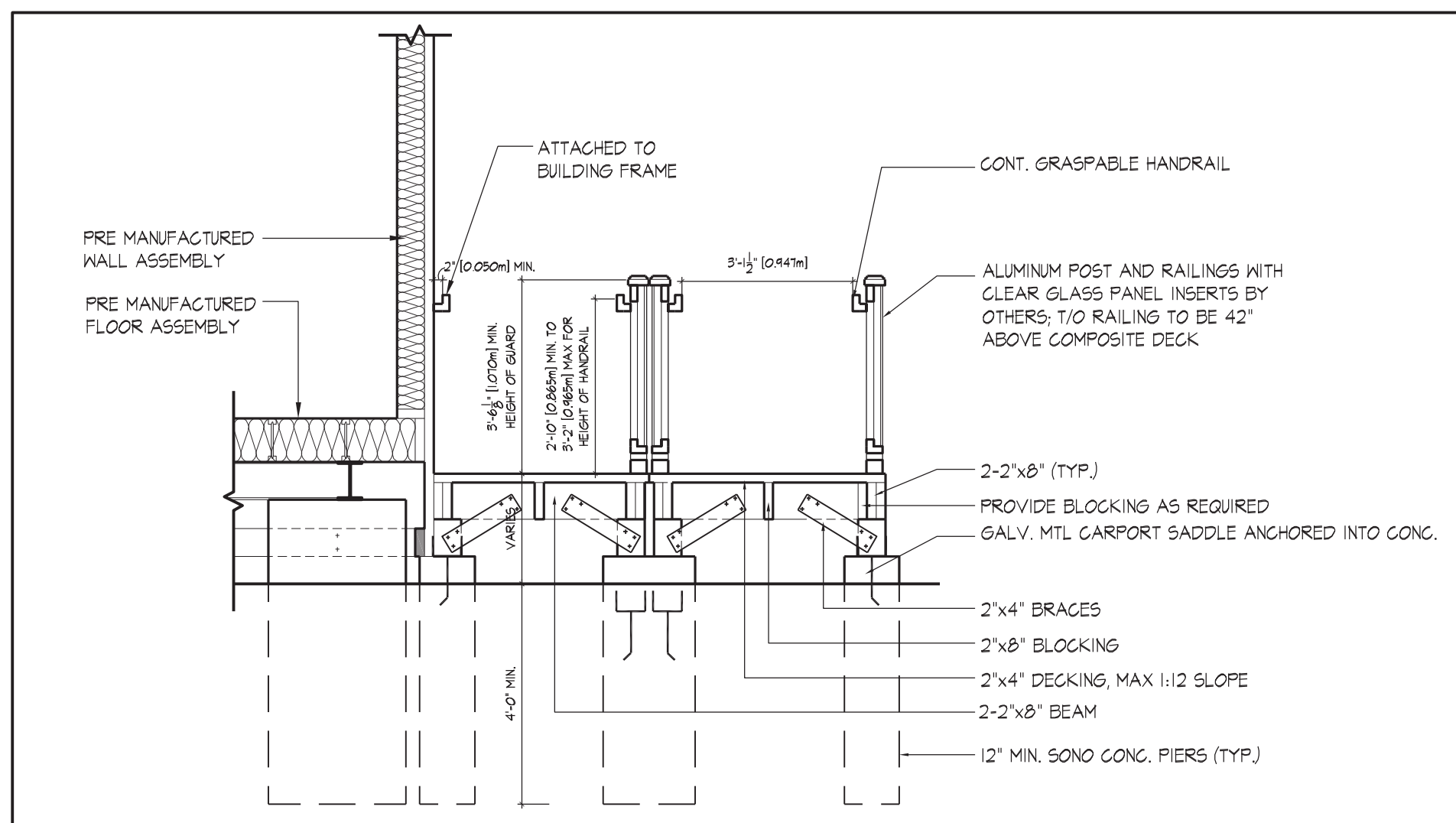
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Mark-Andre Simard 21640
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695
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NO.	REVISIONS	DATE (YYYYMMDD)	BY
7.	-	-	-
6.	-	-	-
5.	-	-	-
4.	-	-	-
3.	ISSUED FOR FINAL	2022 04 25	VM
2.	REVISED AS PER STRUCTURAL ENGINEER COMMENTS	2022 04 25	VM
1.	ISSUED FOR CLIENT REVIEW		

TITLE PAGE
SALES OFFICE
 REV.2022.04.25
MARLIN SPRINGS - 222030
 NASH RD. & HANCOCK RD., COURTICE, ON.
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
HUNT DESIGN ASSOCIATES INC.
 Scale: 3/16"=1'-0"
 222030WSSALES_OFFICE
 1 of 8



FOUNDATION PLAN

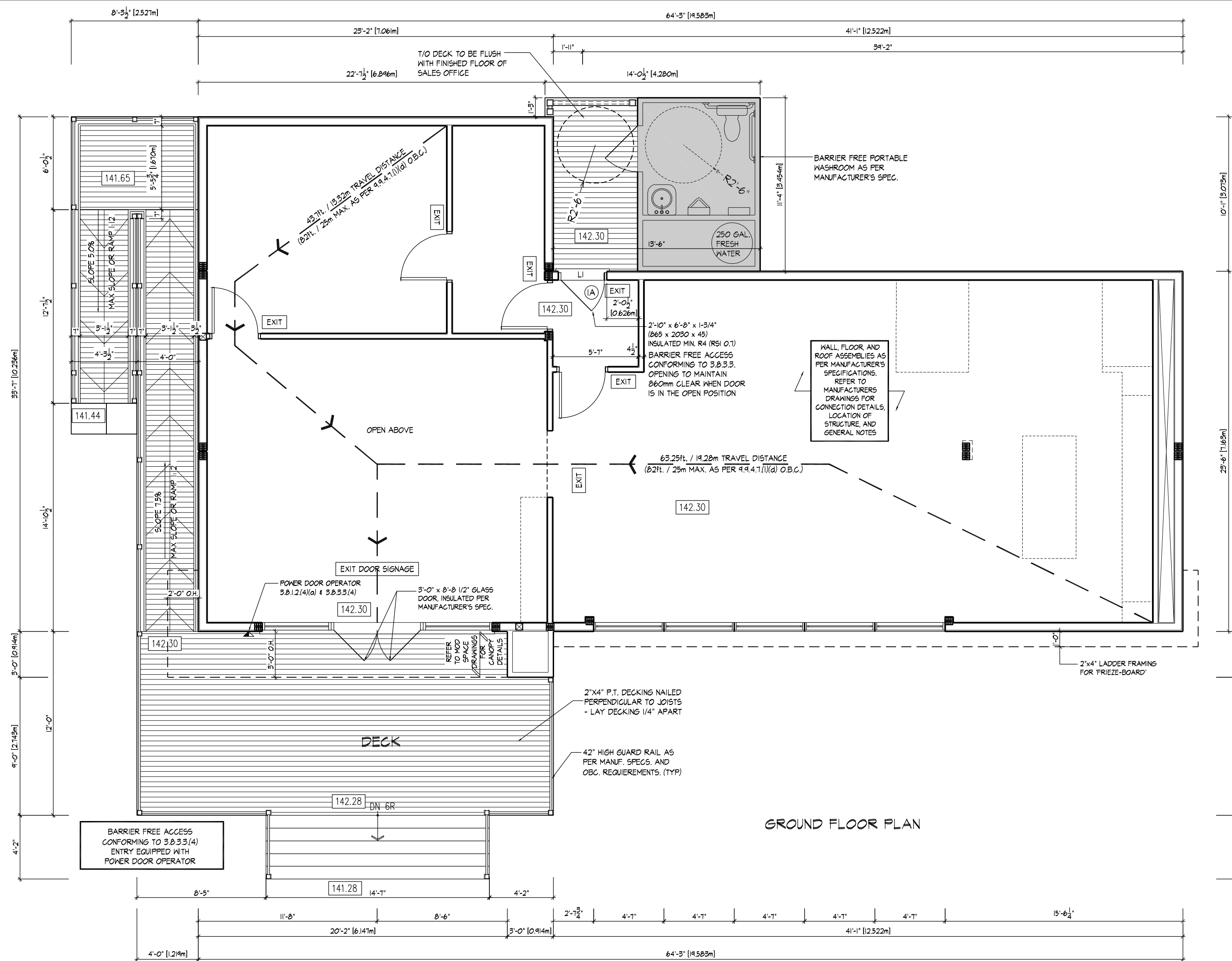


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 Mark-Andre Simard 21640
 NAME
 REGISTRATION INFORMATION BCN
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FOUNDATION PLAN
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 REGISTRATION INFORMATION: 21640
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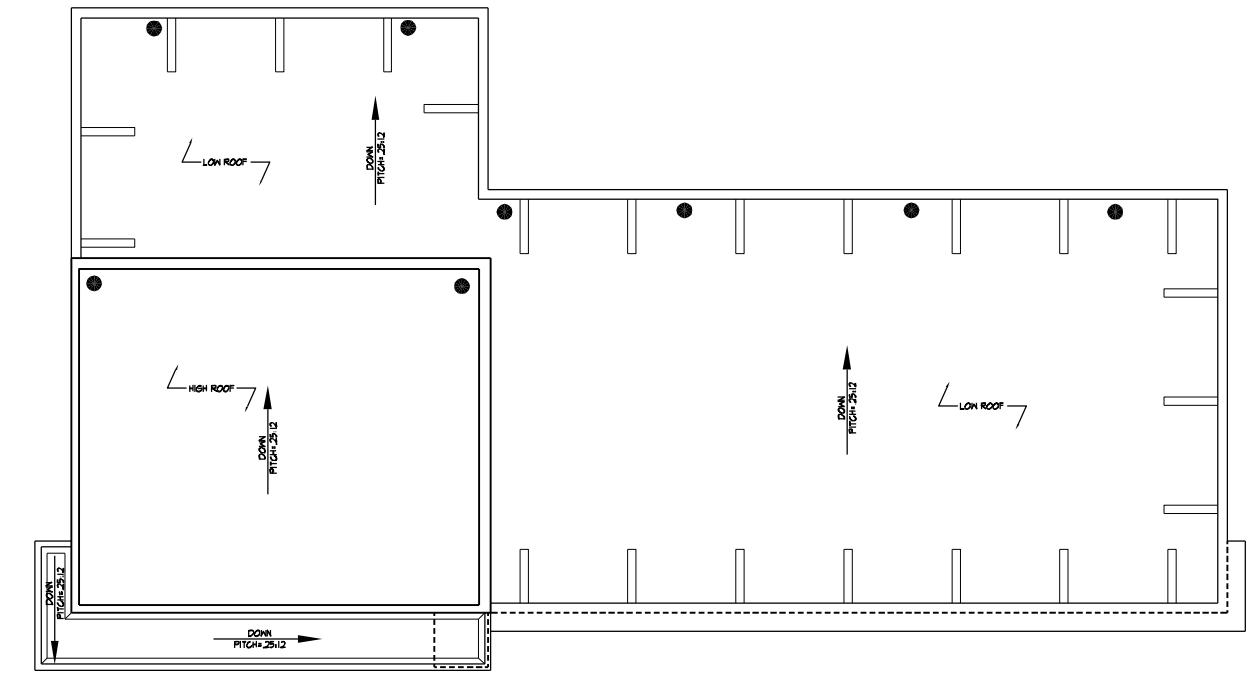


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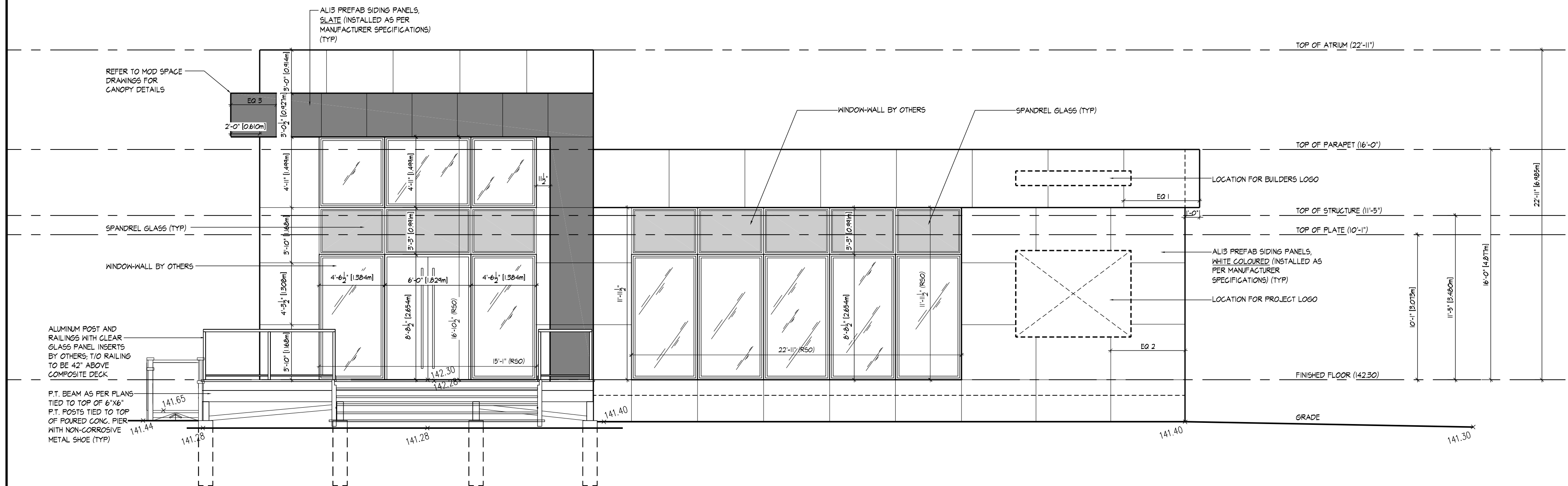
GROUND FLOOR PLAN
SALES OFFICE
 REV.2022.04.25
 Page Number: 3 of 8

COLOUR SCHEDULE		
MATERIAL	MANUFACTURER	COLOUR
METAL SIDING	AL13	WHITE
METAL SIDING	AL13	SLATE
SOFFIT	MAC	TORREFIED HARRY WOOD COLLECTION, MHQC IT00
VINYL SIDING	MITTEN SIDING	WHITE
STEPS, PORCH, RAMP	N/A	PRESSURE TREATED LUMBER

ALL WINDOWS ARE FIXED GLASS UNLESS OTHERWISE NOTED



ROOF PLAN



FRONT (WEST) ELEVATION

RAILINGS/GUARDS TO BE PROVIDED IF REQUIRED, TO BE CONFIRMED WITH FINAL GRADING CONDITIONS

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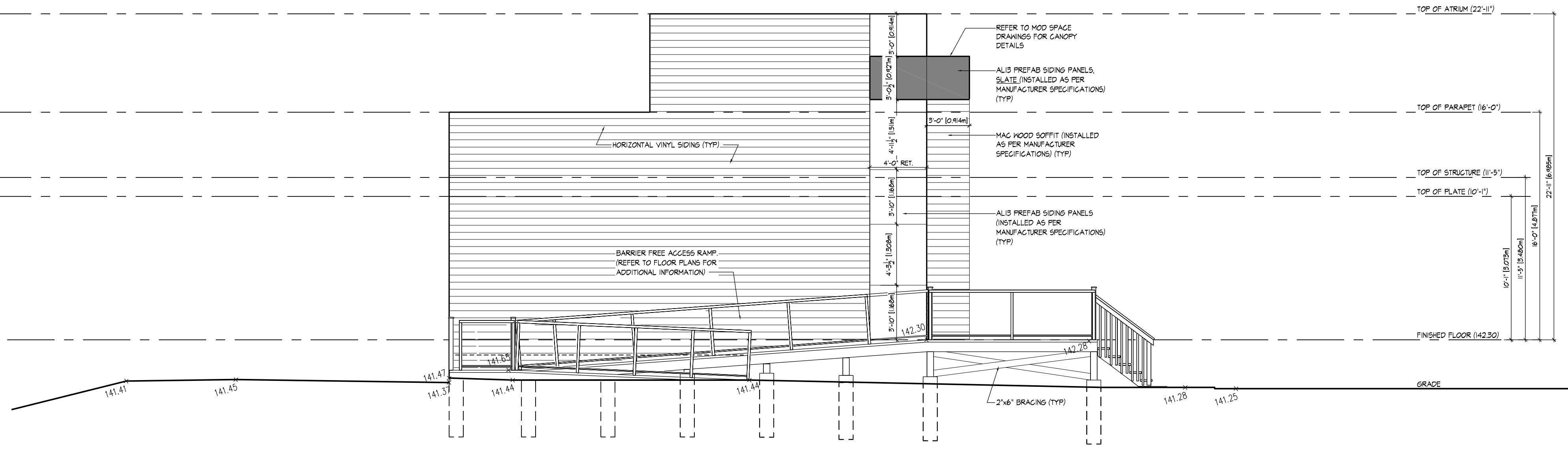
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FRONT ELEVATION
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 REV.2022.08.19

File Number: 222030WSSALES_OFFICE
 Page Number: 4 of 8

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ALL WINDOWS ARE FIXED GLASS UNLESS OTHERWISE NOTED

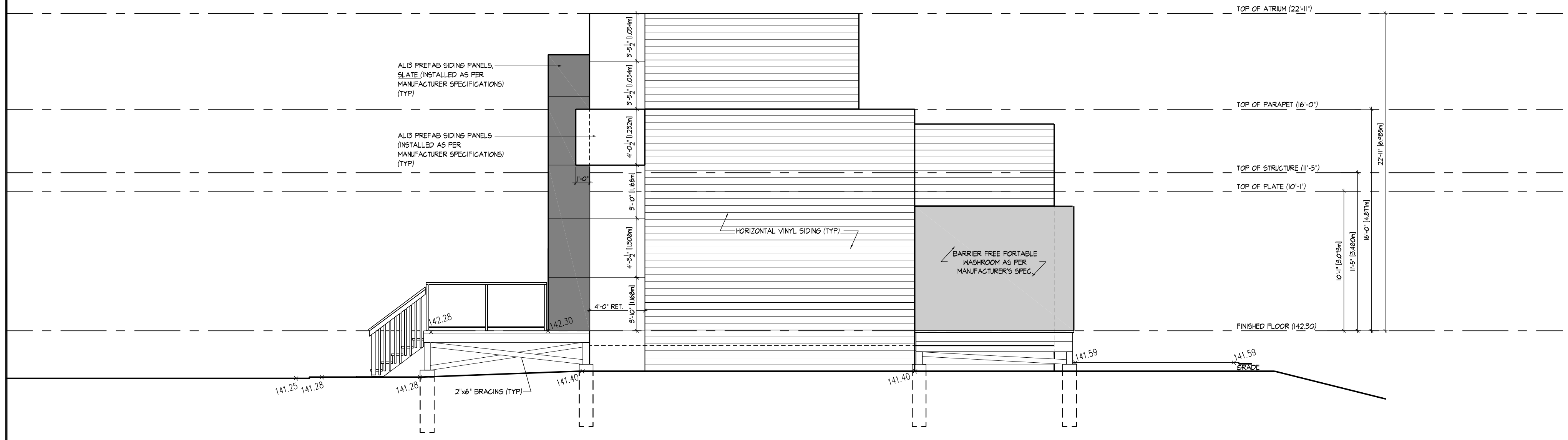


LEFT (NORTH) SIDE ELEVATION

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LEFT SIDE ELEVATION
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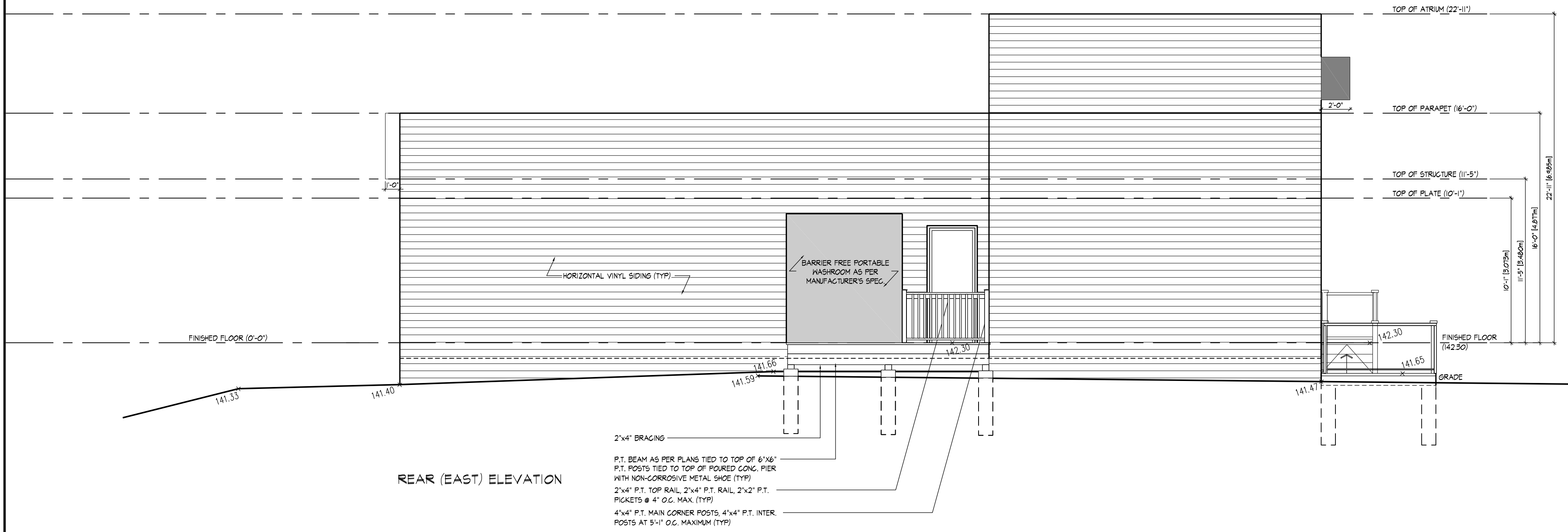
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RIGHT (SOUTH) SIDE ELEVATION

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REAR (EAST) ELEVATION

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REAR ELEVATION SALES OFFICE
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SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION (9.19, 9.23.13, 9.23.15)
2 PROFILED ROOF TRUSSES
3 BRICK VENEER WALL CONSTRUCTION (2x6)
4 INTERIOR STUD PARTITIONS
5 FOUNDATION WALL/FOOTINGS
6 ICE AND WATER SHEILD
7 PROFILED ROOF TRUSSES
8 SIDING WALL CONSTRUCTION (2x6)
9 SIDING WALL CONSTRUCTION (2x6) W/ CONTIN. INSULATION
10 BRICK VENEER WALL CONSTRUCTION (2x6)
11 GUARDS/HANDRAILS
12 SILL PLATES
13 BASEMENT INSULATION
14 BEARING STUD PARTITION IN BASEMENT
15 ADJUSTABLE STEEL BASEMENT COLUMN
16 STEEL BEAM BRACING AT FOUNDATION WALL
17 WOOD STRAPPING AT STEEL BEAMS
18 GARAGE DOOR TO HOUSE
19 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 18A GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION
18B TWO STOREY VOLUME SPACES
20 GARAGE DOOR TO HOUSE
21 EXTERIOR AND GARAGE STEPS
22 DRYER EXHAUST
23 ATTIC ACCESS
24 FIREPLACE CHIMNEYS
25 LINEN CLOSET
26 MECHANICAL VENTILATION
27 PARTY WALL BEARING
28 WOOD FRAMING IN CONTACT TO CONCRETE
29 BUILT-UP WOOD POST AND FOOTING
30 STEP FOOTINGS
31 CONOC. PORCH SLAB
32 FURNACE VENTING
33 FIREPLACE VENTING
34 FLOOR FRAMING
35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE
36 CELL COLLAR PORCH SLAB
37 RANGE HOODS AND RANGE-TOP FANS
38 CONVENTIONAL ROOF FRAMING
39 FOUNDATION REDUCTION IN THICKNESS FOR MASONRY
40 FOUNDATION REDUCTION IN THICKNESS FOR JOISTS
41 WEAVING TIE
42 BASEMENT SLAB OR SLAB ON GRADE
43 EXPOSED CEILING TO EXTERIOR W/ ATTIC
44 EXPOSED CEILING TO EXTERIOR W/ CONTIN. INSULATION
45 ALL STAIRS/EXTERIOR STAIRS
46 GUARDS/HANDRAILS
47 GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.5.5. & 9.8.6.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.6.2.

cont. SECTION 1.0. CONSTRUCTION NOTES

- 48 1 HR. PARTY WALL (CONC. BLOCK)
49 2 HR. FIREWALL
50 STUCCO WALL CONSTRUCTION (2x6)
51 STUCCO WALL CONSTRUCTION (2x6) W/ CONTIN. INSUL.
52 STUCCO WALL @ GARAGE CONST.
53 STUD WALL REINFORCEMENT
54 WINDOW WELLS
55 SLOPED CEILING CONSTRUCTION
56 FLAT ROOF/FALCONY CONSTRUCTION
57 BARREL VAULT CONSTRUCTION
58 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION
59 TWO STOREY VOLUME SPACES
60 GARAGE DOOR TO HOUSE
61 EXTERIOR AND GARAGE STEPS
62 DRYER EXHAUST
63 ATTIC ACCESS
64 FIREPLACE CHIMNEYS
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80 FOUNDATION REDUCTION IN THICKNESS FOR JOISTS
81 WEAVING TIE
82 BASEMENT SLAB OR SLAB ON GRADE
83 EXPOSED CEILING TO EXTERIOR W/ ATTIC
84 EXPOSED CEILING TO EXTERIOR W/ CONTIN. INSULATION
85 ALL STAIRS/EXTERIOR STAIRS
86 GUARDS/HANDRAILS
87 GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.5.5. & 9.8.6.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.6.2.

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 88 SECTION 1.1. WALL STUDS
89 SECTION 2.0. GENERAL NOTES
90 SECTION 3.0. DOOR SCHEDULE
91 SECTION 3.5. SYMBOLS
92 SECTION 4.0. CLIMATIC DATA
93 SECTION 4.0. CLIMATIC DATA
94 SECTION 4.0. CLIMATIC DATA
95 SECTION 4.0. CLIMATIC DATA
96 SECTION 4.0. CLIMATIC DATA
97 SECTION 4.0. CLIMATIC DATA
98 SECTION 4.0. CLIMATIC DATA
99 SECTION 4.0. CLIMATIC DATA
100 SECTION 4.0. CLIMATIC DATA

SECTION 1.1. WALL STUDS
SECTION 2.0. GENERAL NOTES
SECTION 3.0. DOOR SCHEDULE
SECTION 3.5. SYMBOLS
SECTION 4.0. CLIMATIC DATA
DESIGN SNOW LOAD (9.4.2.2.): 1.17 - kPa
WIND PRESSURE (q50) (SB-1.2.): 0.36 - kPa
HUNT DESIGN ASSOCIATES INC.
MARK-ANDRE SIMARD
HUNT DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
MARK-ANDRE SIMARD
HUNT DESIGN ASSOCIATES INC.

CONSTRUCTION NOTES
MARPIN SPRINGS - 222030
NASH RD. & HANCOCK RD., COURTICE, ON.
REV.2022.04.25
DESIGN SNOW LOAD (9.4.2.2.): 1.17 - kPa
WIND PRESSURE (q50) (SB-1.2.): 0.36 - kPa